



State of Utah

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Department of Administrative Services

RICHARD K. ELLIS  
Executive Director

Division of Facilities Construction and Management

F. KEITH STEPAN  
Director

## ADDENDUM #2

Date: 29 August 2006

To: Contractors

From: Michael A. Ambre, Project Manager, DFCM

Reference: Price Liquor Store – New Lift & Door Replacement  
Department of Alcoholic Beverage and Control  
DFCM Project # 06059030

Subject: **Addendum No. 2**

Pages:	Addendum	1 page
	Architectural Addendum #2	5 pages
	<u>Drawings</u>	<u>5 pages</u>
	<b>Total Pages</b>	<b>11 pages</b>

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**Note:** *This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.*

**1.1 SCHEDULE CHANGES:** There are no schedule changes per this Addendum.

**1.2 GENERAL:** Reference the following attachment for changes to the original drawing and specifications.

The drawings for this addendum can be viewed on the DFCM website:

**[http://dfcm.utah.gov/main.php?project\\_number=06059030](http://dfcm.utah.gov/main.php?project_number=06059030)**

**End of Addendum #2**



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August 28, 2006

PROJECT:

## **PRICE LIQUOR STORE NEW LIFT & DOOR REPLACEMENT**

**PRICE, UTAH  
D.F.C.M. PROJECT # 06059030**

### **ADDENDUM NO.# 2**

The data included herein is issued by the Architect as a clarification and addition to drawings, specifications, and contract documents relative to the above project. Except as effected by data herein, all other parts of the Contract Documents shall remain in full force and effect as issued by the Architect, **August 28, 2006** (This Date Applies to all Project Bid Documents). It shall be the sole responsibility of the bidder to appropriately disseminate this data to all concerned prior to the assigned bid date and time. Receipt of the addendum shall be recorded by the bidder in the appropriate space on the proposal form included in the Contract Documents.

### **I. GENERAL ITEMS**

#### **1. STAGING AREA**

- a. Contractor is to propose staging of equipment and supplies to the Owner at the time of the Pre-Construction Meeting. Contractor can use and stage his work within the area shown on the drawings. Use of additional area must be approved by the Owner at the Pre-Construction meeting. Area between fence and new lift construction to be kept open as much as possible. Coordinate with Owner.

#### **2. JOB SUPERINTENDENT**

- a. Contractor's job superintendent is to remain on the job at all times when work is in progress. This also includes times that subcontractor's are on the job doing work. Subcontractors must be coordinated and supervised as appropriate to the job. Job Superintendent is to be on the job at all times and the job superintendent first assigned to the project must remain with the project from start to 100 % complete. Pulling the job Superintendent of the job even temporarily will not be allowed. The job superintendent shall not be changed unless requested by the Owner, Death or serious sickness occurs. If the Contractor changes or pulls his Superintendent from the project it shall be regarded as a breach of the Contract between the Contractor and the Owner. If Contractor has good reason to change because of quality work, and / or supervision issues, then the Contractor shall obtain approval of the Owner to make change and present reasons for the change to the Owner prior to making any changes.

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*"Our Success Is Measured By The Level Of Our Client's Success".*

**SCOTT P. EVANS - ARCHITECT & ASSOCIATES P.C.**  
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Phone 801-298-1368 Fax 801-298-2192 info@spe-architect.com

**3. PRIOR APPROVALS:**

The following manufacturers, trade names and products are allowed to bid on a name-brand-only basis with the provision that they completely satisfy all and every requirement of the drawings, specifications and all addenda and shall conform to the design, quality and standards specified, established and required for the complete and satisfactory installation and performance of the building and all its respective parts.

<u>Item</u>	<u>Manufacturer</u>	<u>Stipulations:</u>

**4. SECURITY CHECK OF CONTRACTOR EMPLOYEES:**

If the Owner requests, the Contractor is to submit names of all workers who will need to work on the inside of the building, for a Security check. All workers will need to pass a security check by the Owner. This is for the inside of the building only. Submit information as requested by the Owner.

**5. SECURITY FOR EXTERIOR DOORS:**

- a. The Owner must have security on the building 24 hours. Removal of existing door and frame and installing a new door and metal frame could be a security problem. Contractor shall replace the existing pair of doors and frame in one day and make security tight with alarm system in place. If Contractor can not change out the existing door the same day then the Contractor will be required to hire a security guard to protect the building during the time the door opening is not secure. The security guard shall be approved by the Owner. Coordinate with the Owner for the best time for work and change out of new doors and frames.

**6. COMPLETION DATE TO BE REVISED:**

- a. Revise completion date on Bid Form to read, Friday, **November 10, 2006.**

**II. ARCHITECTURAL**

**A. SPECIFICATION ITEMS**

**1. SPECIFICATION SECTION ---- DFCM -Project Schedule**

- a. **Project completion deadline:** Change to read, **Friday, November 10, 2006.**
- b. **See attached Revised:** Project Schedule by DFCM (Revised)

**2. SPECIFICATION SECTION ---- DFCM - Bid Form**

- a. Change to read: -----substantially complete by **Friday, November 10, 2006.**
- b. See attached Revised Bid Form: Bid Form by DFCM (Revised)

**4. SPECIFICATION SECTION ---- 01310-2 – Project Management and Coordination**

a. 1.4 – SUBMITALS – B. Key personnel Names:

A. Change to read: Provide Key Personnel names for review and approval by Owner and Architect within 7 days of award of the Contract. Submit a list of key personnel assignments, including Job Superintendent and other personnel in attendance at Project site. (The remaining paragraph to read as written)

**5. SPECIFICATION SECTION ---- 01500-2– Temporary Facilities and Controls**

a. 2.2 – TEMPORARY FACILITIES – A. – Field Offices, General: B. – Common – use offices:

b. Revise and delete reference to 2.2 – Temporary Facilities – A. and B. – not required

**6. SPECIFICATION SECTION ---- 08710 -- DOOR HARDWARE**

a. **3.07 – HARDWARE GROUPS**

**A. Heading 01**

a. **Change to the following:**

Doors: 101

8	Hinges	T4A3386 4 1/2 X 4 1/2 NRP	32D	MC
2	Exit Device	8710	626	SA
2	Closer	351 CPSH	EN	SA
2	Kickplate	KP50F 10" x 2" LDW	US32D	MC
1	Set Weatherstrip	MCK303 APK		MC
2	Automatic Door Bottom	MCK4131 CN		MC
1	Peep Hole	DV3	626	MC
2	Kickdown Holders	Reuse Existing		

**7. SPECIFICATION SECTION ---- 11160-3– Loading Dock Equipment**

2.02 - DOCK LIFTS (SCISSORS LIFTS)

G. OPERATION:

3. Change to read: Provide a **30 ft. pendant station cord**, shipped loose. NEMA – control panel shipped loose, with magnetic motor starter and 24 VAC control transformer prewired to terminal strip.

**B. DRAWING ITEMS (SEE DRAWINGS ATTACHED)**

**1. ARCHITECTURAL DRAWING AS-101 (REVISED): SITE PLAN & KEYED NOTES(SEE ATTACHED)**

a. Changes to the Site: See attached revised drawing.

- 1) Drain pipe from lift pit has changed location, see drawing.
- 2) Review drawing for any additional changes or notes.

**2. ARCHITECTURAL DRAWING AE-101 (REVISED): PLANS & KEYED NOTES (SEE ATTACHED)**

a. Change to plan and keyed notes:

- 1) Note #23 – See revised note and drawing. Existing exist sign.
- 2) Note #15 – See revised note on drawings. Bollard location.
- 3) Note #28 – See new note. Existing fence location
- 4) See relocation of pipe bollard to make removable.
- 5) Review drawing for any additional changes or notes.

3. **ARCHITECTURAL DRAWING AE-201 (REVISED): ELEVATIONS & SECTIONS (SEE ATTACHED)**
  - a. Change to plan and keyed notes:
    - 1) Delete catch basin and steel grating from pit. See revised drawing.
    - 2) Relocate pipe from lift pit to surface drain at wall.
    - 3) Review drawing for any additional changes or notes.
4. **ARCHITECTURAL DRAWING AE-501 (REVISED): DETAILS (SEE ATTACHED)**
  - a. Change to plan and keyed notes:
    - 1) Delete catch basin and steel grating from pit. See revised drawing.
    - 2) Relocate pipe from lift pit to surface drain at wall.
    - 3) Review drawing for any additional changes or notes.
5. **ARCHITECTURAL DRAWING AE-502 (REVISED): DETAILS AND PHOTOS (SEE ATTACHED)**
  - a. Change to plan and keyed notes:
    - 1) Door Schedule relocated to this sheet..
    - 2) Review drawing for any additional changes or notes.

### **III MECHANICAL**

NONE

### **IV. ELECTRICAL**

NONE

## **V – SUPPLEMENTARY DRAWINGS**

**(ADD THE FOLLOWING DRAWINGS REVISED TO THE PROJECT DOCUMENTS)**

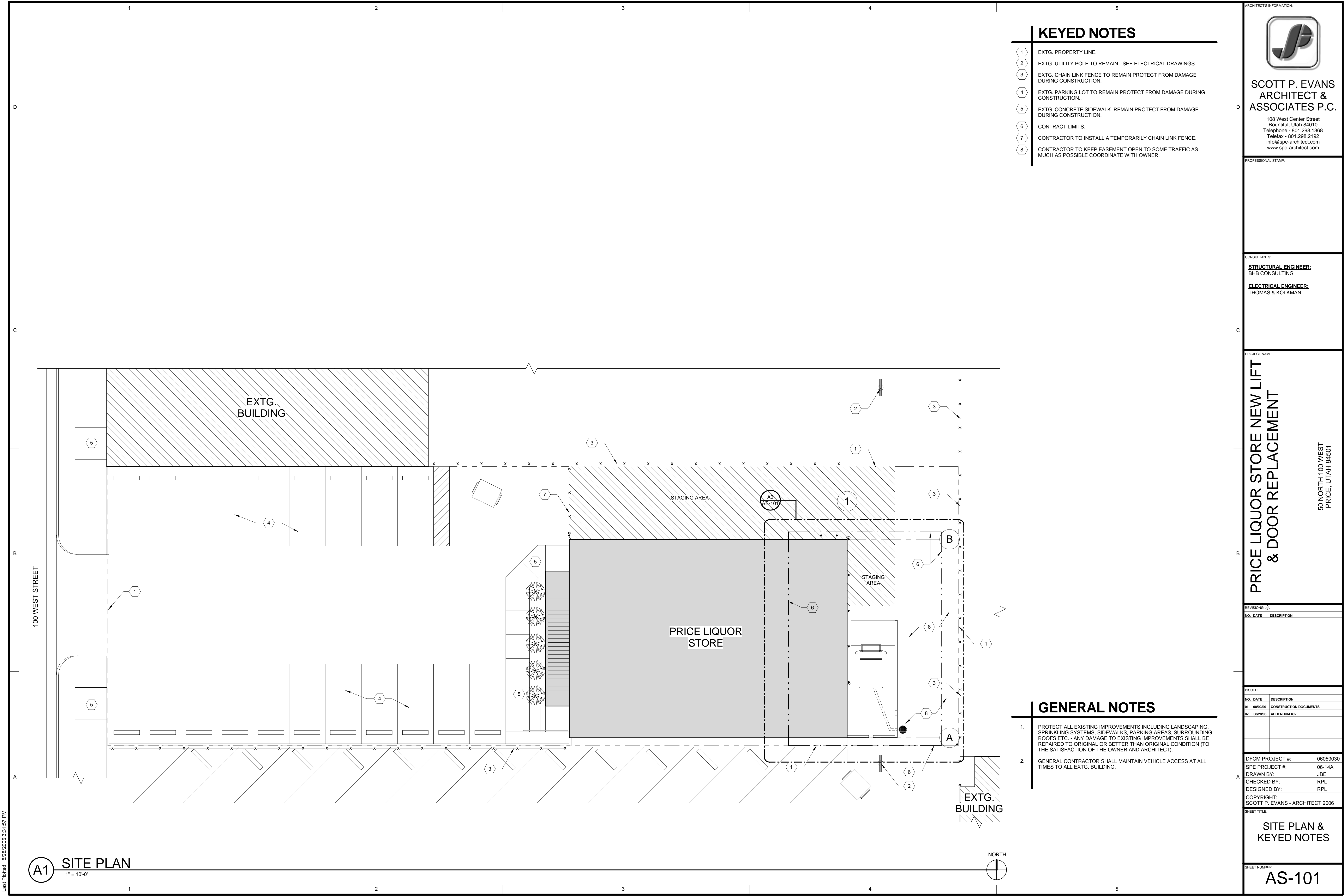
**ARCHITECTURAL DRAWING - AS-101 (REVISED): SITE PLAN & KEYED NOTES**

**ARCHITECTURAL DRAWING - AE-101 (REVISED): PLANS & KEYED NOTES**

**ARCHITECTURAL DRAWING - AE-201 (REVISED): ELEVATIONS & SECTIONS**

**ARCHITECTURAL DRAWING - AE-501 (REVISED): DETAILS**

**ARCHITECTURAL DRAWING - AE-502 (REVISED): DETAILS AND PHOTOS**



KEYED NOTES

- 1 EXTG. PROPERTY LINE.
- 2 EXTG. UTILITY POLE TO REMAIN - SEE ELECTRICAL DRAWINGS.
- 3 EXTG. CHAIN LINK FENCE TO REMAIN PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 4 EXTG. PARKING LOT TO REMAIN PROTECT FROM DAMAGE DURING CONSTRUCTION..
- 5 EXTG. CONCRETE SIDEWALK REMAIN PROTECT FROM DAMAGE DURING CONSTRUCTION.
- 6 CONTRACT LIMITS.
- 7 CONTRACTOR TO INSTALL A TEMPORARILY CHAIN LINK FENCE.
- 8 CONTRACTOR TO KEEP EASEMENT OPEN TO SOME TRAFFIC AS MUCH AS POSSIBLE COORDINATE WITH OWNER.

GENERAL NOTES

1. PROTECT ALL EXISTING IMPROVEMENTS INCLUDING LANDSCAPING, SPRINKLING SYSTEMS, SIDEWALKS, PARKING AREAS, SURROUNDING ROOFS ETC. - ANY DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED TO ORIGINAL OR BETTER THAN ORIGINAL CONDITION (TO THE SATISFACTION OF THE OWNER AND ARCHITECT).
2. GENERAL CONTRACTOR SHALL MAINTAIN VEHICLE ACCESS AT ALL TIMES TO ALL EXTG. BUILDING.



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**STRUCTURAL ENGINEER:**  
BHB CONSULTING

**ELECTRICAL ENGINEER:**  
THOMAS & KOLKMAN

PROJECT NAME:

PRICE LIQUOR STORE NEW LIFT  
& DOOR REPLACEMENT

50 NORTH 100 WEST  
PRICE, UTAH 84601

REVISIONS:

NO.	DATE	DESCRIPTION
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ISSUED:

NO.	DATE	DESCRIPTION
01	08/02/06	CONSTRUCTION DOCUMENTS
02	08/28/06	ADDENDUM #02

DFCM PROJECT #: 06059030

SPE PROJECT #: 06-14A

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SHEET TITLE:

SITE PLAN &  
KEYED NOTES

SHEET NUMBER:

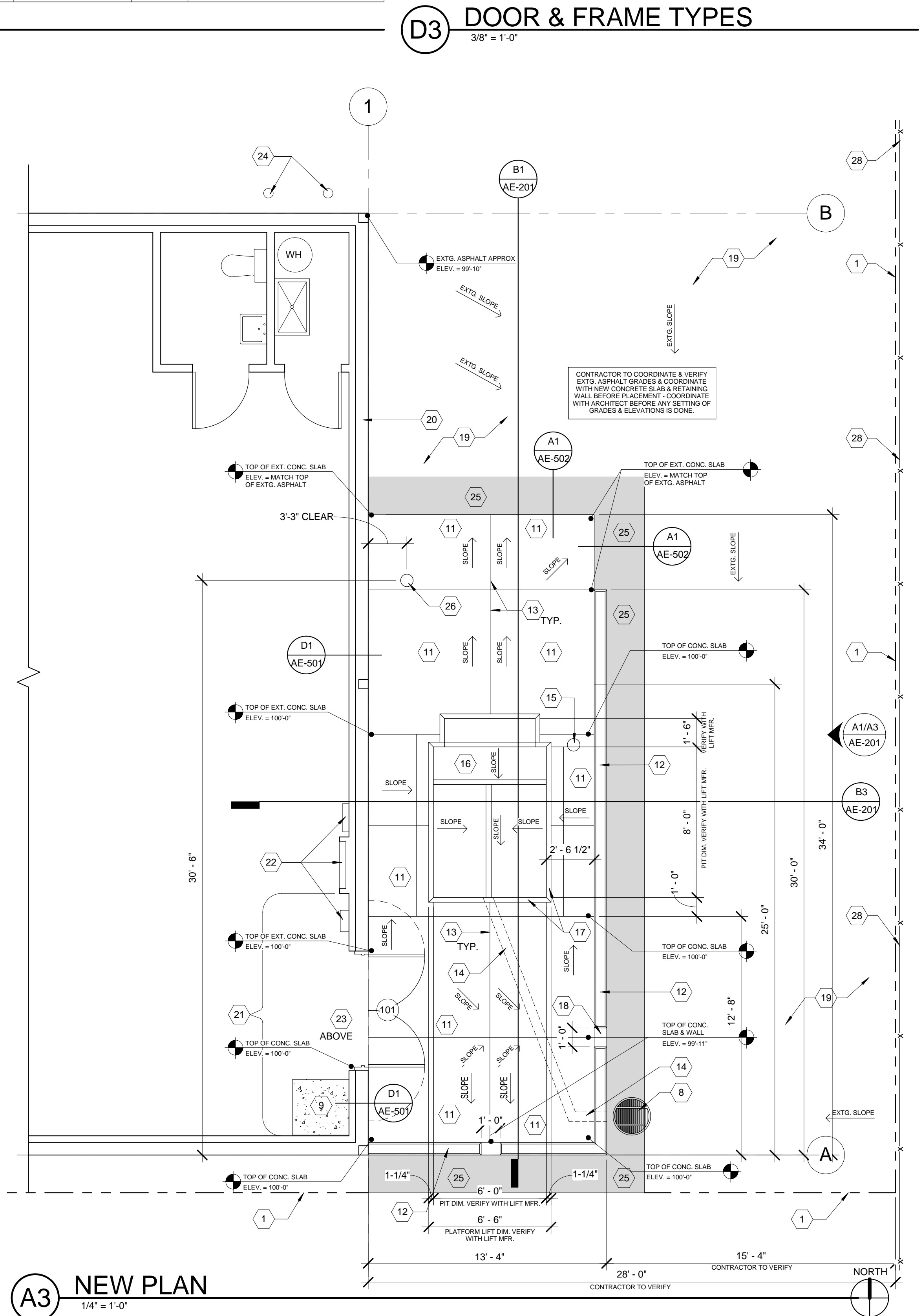
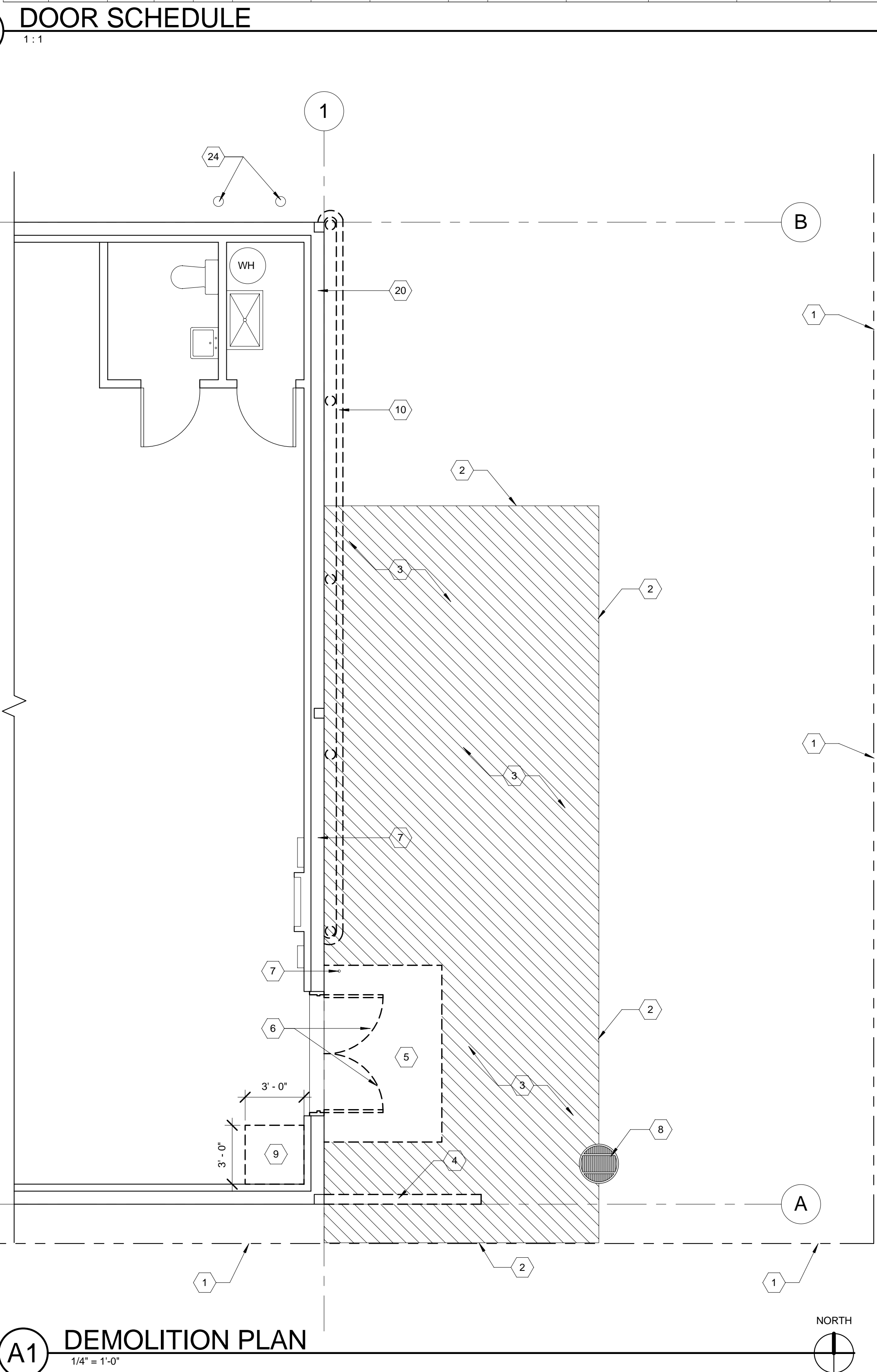
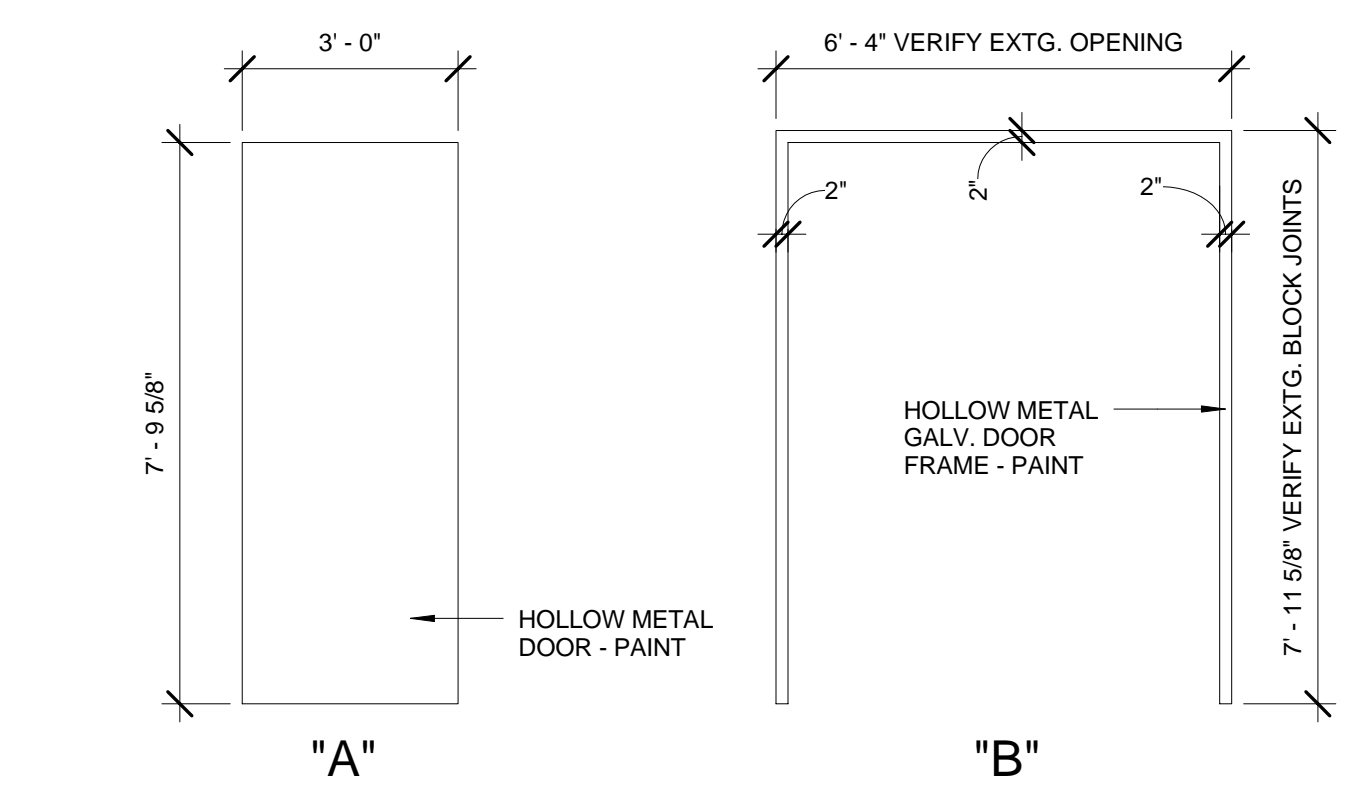
AS-101

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A1 SITE PLAN  
1" = 10'-0"

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DOOR SCHEDULE																	
* FIELD VERIFY ALL DIMENSIONS *																	
MARK #	DOOR								FRAME/OPENING						SIGNAGE	HDWR	REMARKS
	SIZE			TYPE	MATERIAL	LABEL	FINISH	TYPE	MATERIAL	HEAD DETAIL	JAMB(R) DETAIL	JAMB(L) DETAIL	THRESHOLD DETAIL				
	WIDTH	HGT	THK														
101	3'-0" PAIR	7' - 9 5/8"	1-3/4"	A	Hollow Metal	None	Paint	B	Hollow Metal	A1/AE-501	A2/AE-501	A2/AE-501	B1/AE-501	NONE	H-1		



## KEYED NOTES

- EXTG. PROPERTY LINE.
- GENERAL CONTRACTOR TO SAW CUT EXTG. ASPHALT TO DIMENSIONS SHOWN OR AS REQUIRED.
- HATCH PATTERN INDICATES EXTG. AREA OF ASPHALT TO BE REMOVED & DISPOSED OF AS PER SPEC & ALL CODES.
- EXTG. CONCRETE RETAINING WALL TO BE REMOVED.
- EXTG. CONCRETE PAD TO BE REMOVED.
- EXTG. DOOR, FRAME & THRESHOLD & ALL RELATED MATERIALS TO BE REMOVED - REUSE SELECTED HARDWARE.
- REMOVED EXTG. DOOR STOP.
- EXTG. ROCK SUMP TO REMAIN.
- EXTG. CONCRETE SLAB TO BE REMOVED AS REQUIRED FOR NEW HYDRAULIC PUMP LINES - REPLACE CONCRETE SLAB & FLOORING FINISH TO MATCH EXTG. - SEE ELECTRICAL DRAWINGS.
- EXTG. STEEL GUARD RAIL & BOLLARDS TO BE REMOVED.
- 6" CONCRETE SLAB WITH #4 BARS 12" O.C. EACH WAY OVER 6" COMPACTED GRAVEL BASE.
- NEW CONCRETE CURB WALL - TOP OF WALL ELEVATION = 100'-3" - SEE DETAIL B2/AE-501.
- SLAB CONTRACTION JOINT - SEE DETAIL D2/AE-501.
- DASHED LINE INDICATED NEW 6" PVC DRAINAGE PIPE AS SHOWN AS REQUIRED - INSTALL 1/4" STAINLESS STEEL WIRE WESH SCREEN ON BOTH SIDES OF THE PIPE - INSTALL PVC DRAINAGE PIPE & FITTING ACCORDING TO ASTM F891 RATED FOR DOMESTIC WASTE & VENT.
- NEW 6"Ø CONCRETE FILLED PIPE BOLLARD - SEE DETAIL A5/AE-501 - ALIGN BOLLARDS 1" IN FRONT OF LIFT - VERIFY LOCATION WITH LIFT MANUFACTURE SO BOLLARD STOP TRUCK OR TRAILER BEFORE CONTACTING LIFT.
- PIT FOR NEW SCISSOR LIFT - SEE DETAIL INDICATED.
- STEEL ANGLE AT PERIMETER OF LIFT PIT & RECESSED BRIDGE - ALL CURB ANGLE JOINTS TO BE WELDED SECURELY - STEEL ANGLE TO BE GALVANIZED PRIMED & PAINTED.
- DROP TOP OF CONCRETE WALL TO MATCH TOP OF CONCRETE SLAB FOR WATER DRAINAGE.
- EXTG. ASPHALT TO REMAIN.
- PROTECT THE BUILDING FROM DAMAGE DURING CONSTRUCTION.
- PAINT EXTG. WALL IN THIS AREA FROM FLOOR TO CEILING - PAINT COLOR TO MATCH SURROUNDING WALLS - SEE SPEC.
- EXTG. ELECTRICAL PANELS TO REMAIN - SEE ELECTRICAL DRAWINGS.
- RELOCATE EXTG. EXIT LIGHT & EMERGENCY LIGHTING BATTERY UNIT TO REMAIN - SEE ELECTRICAL DRAWINGS.
- EXTG. BOLLARDS TO REMAIN.
- NEW ASPHALT AS REQUIRED.
- NEW 6"Ø STEEL REMOVABLE PIPE BOLLARD - SEE DETAIL B1/AE-502.

## GENERAL NOTES

- PROTECT ALL EXISTING IMPROVEMENTS INCLUDING LANDSCAPING, SPRINKLING SYSTEMS, SIDEWALKS, PARKING AREAS, SURROUNDING ROOFS ETC. - ANY DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED TO ORIGINAL OR BETTER THAN ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ARCHITECT).
- GENERAL CONTRACTOR SHALL MAINTAIN VEHICLE ACCESS AT ALL TIMES TO ALL EXTG. BUILDINGS.
- GENERAL CONTRACTOR SHALL VERIFY DOOR & FRAME DIMENSIONS THAT EXIST IN FIELD PRIOR TO ORDERING DOOR & FRAME.
- CONTRACTOR TO COORDINATE & VERIFY EXTG. ASPHALT GRADES & COORDINATE WITH NEW CONCRETE SLAB & RETAINING WALL BEFORE PLACEMENT - COORDINATE WITH ARCHITECT BEFORE ANY SETTING OF GRADES & ELEVATIONS IS DONE.

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CONSULTANTS:  
**STRUCTURAL ENGINEER:**  
BHB CONSULTING  
**ELECTRICAL ENGINEER:**  
THOMAS & KOLKMAN

PROJECT NAME:  
**PRICE LIQUOR STORE NEW LIFT  
& DOOR REPLACEMENT**  
50 NORTH 100 WEST  
PRICE, UTAH 84601

REVISIONS:  
NO. DATE DESCRIPTION

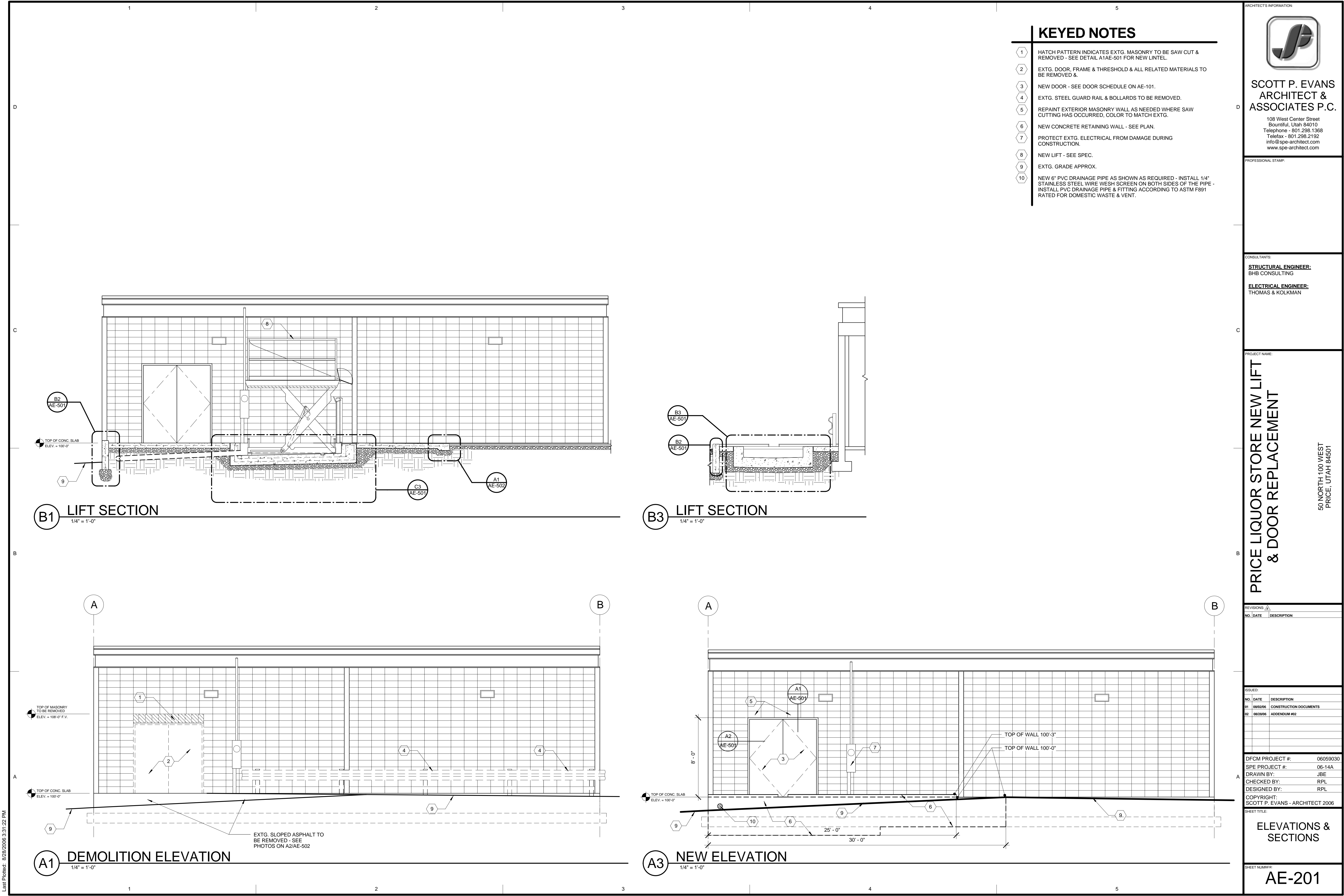
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01 08/02/06 CONSTRUCTION DOCUMENTS  
02 08/28/06 ADDENDUM #02

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SPE PROJECT #: 06-14A  
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SHEET TITLE:  
**PLANS & KEYED  
NOTES**

SHEET NUMBER:  
**AE-101**





KEYED NOTES

- 1 HATCH PATTERN INDICATES EXTG. MASONRY TO BE SAW CUT & REMOVED - SEE DETAIL A1AE-501 FOR NEW LINTEL.
- 2 EXTG. DOOR, FRAME & THRESHOLD & ALL RELATED MATERIALS TO BE REMOVED &.
- 3 NEW DOOR - SEE DOOR SCHEDULE ON AE-101.
- 4 EXTG. STEEL GUARD RAIL & BOLLARDS TO BE REMOVED.
- 5 REPAINT EXTERIOR MASONRY WALL AS NEEDED WHERE SAW CUTTING HAS OCCURRED, COLOR TO MATCH EXTG.
- 6 NEW CONCRETE RETAINING WALL - SEE PLAN.
- 7 PROTECT EXTG. ELECTRICAL FROM DAMAGE DURING CONSTRUCTION.
- 8 NEW LIFT - SEE SPEC.
- 9 EXTG. GRADE APPROX.
- 10 NEW 6" PVC DRAINAGE PIPE AS SHOWN AS REQUIRED - INSTALL 1/4" STAINLESS STEEL WIRE WESH SCREEN ON BOTH SIDES OF THE PIPE - INSTALL PVC DRAINAGE PIPE & FITTING ACCORDING TO ASTM F891 RATED FOR DOMESTIC WASTE & VENT.



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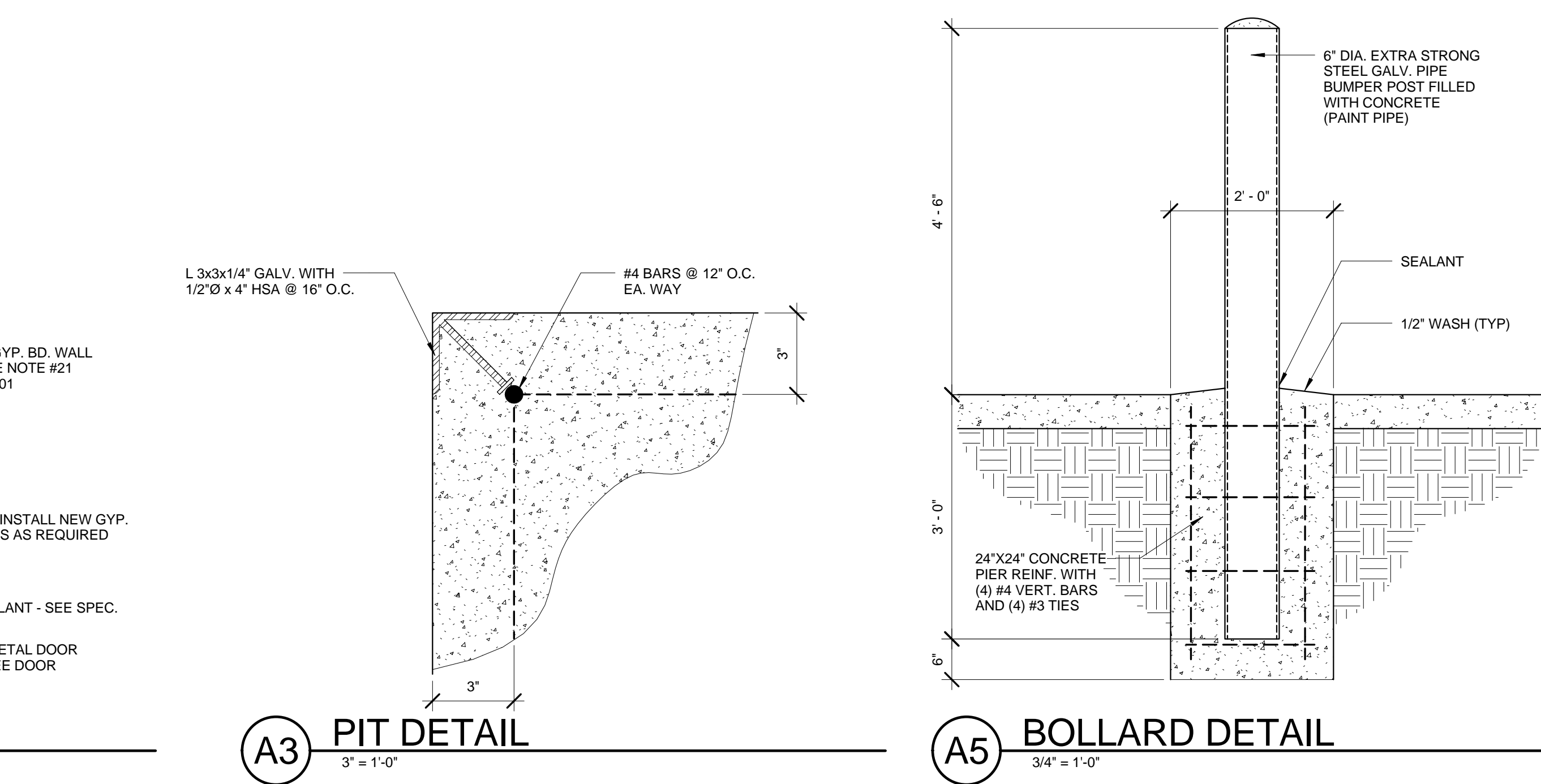
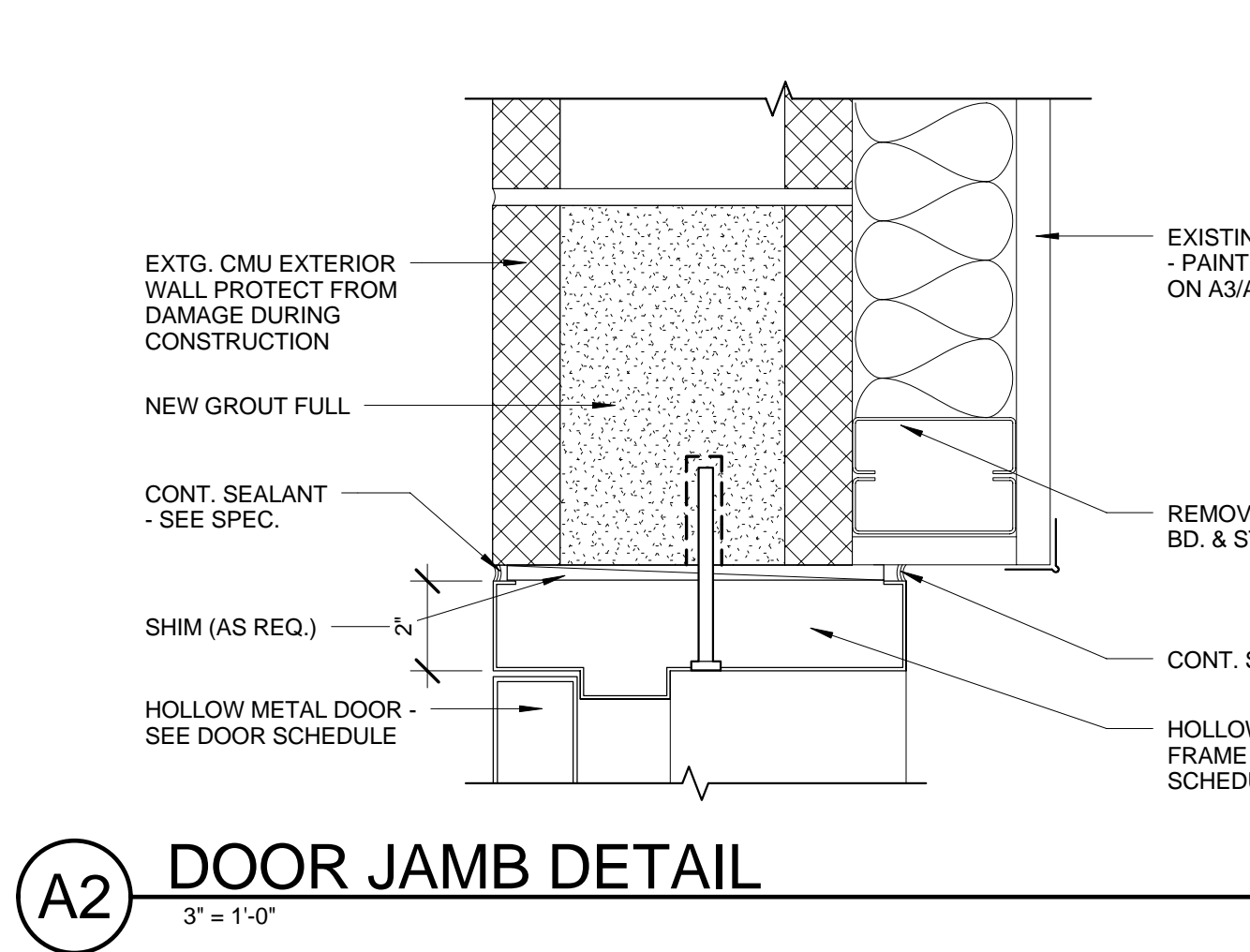
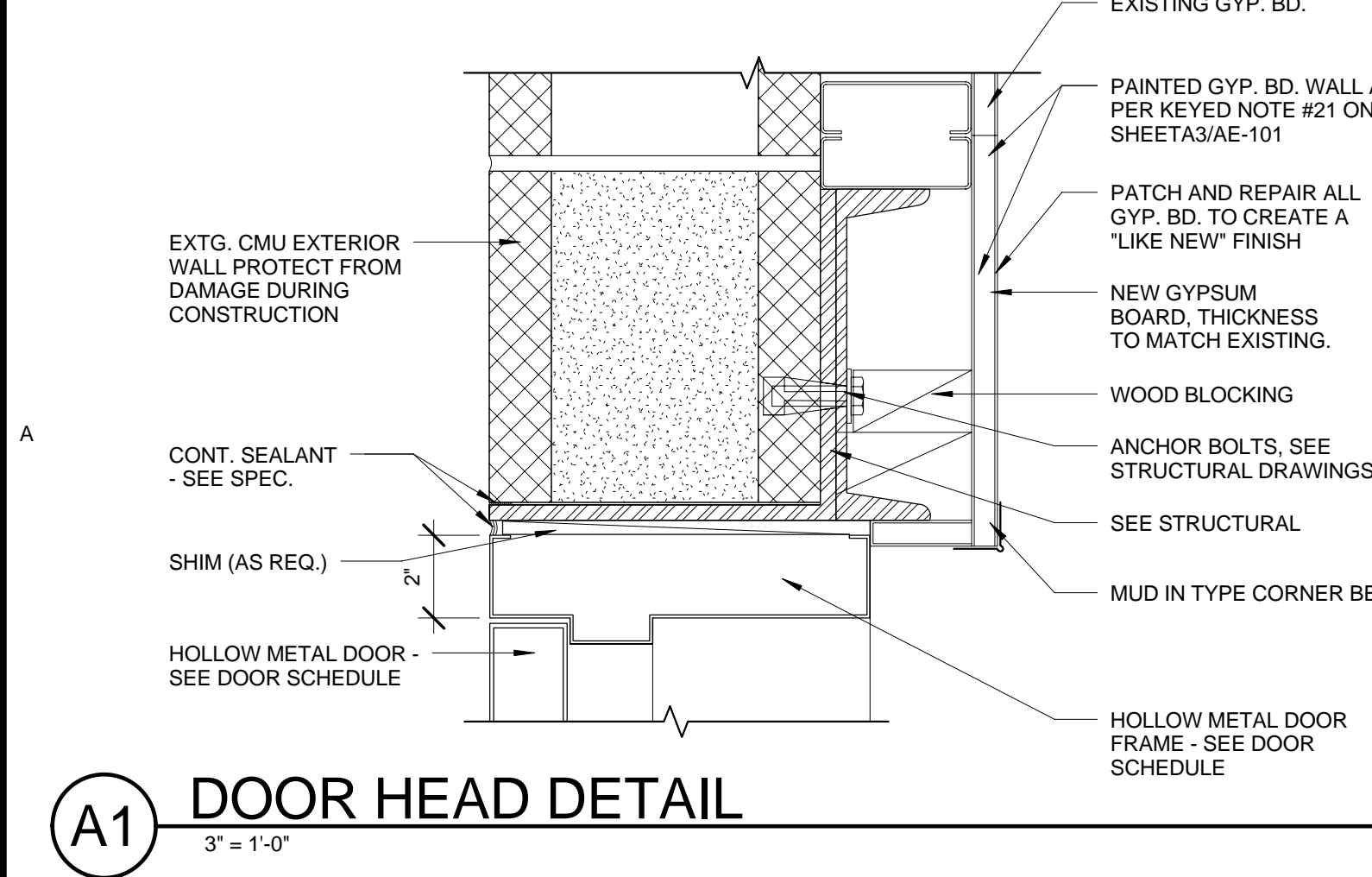
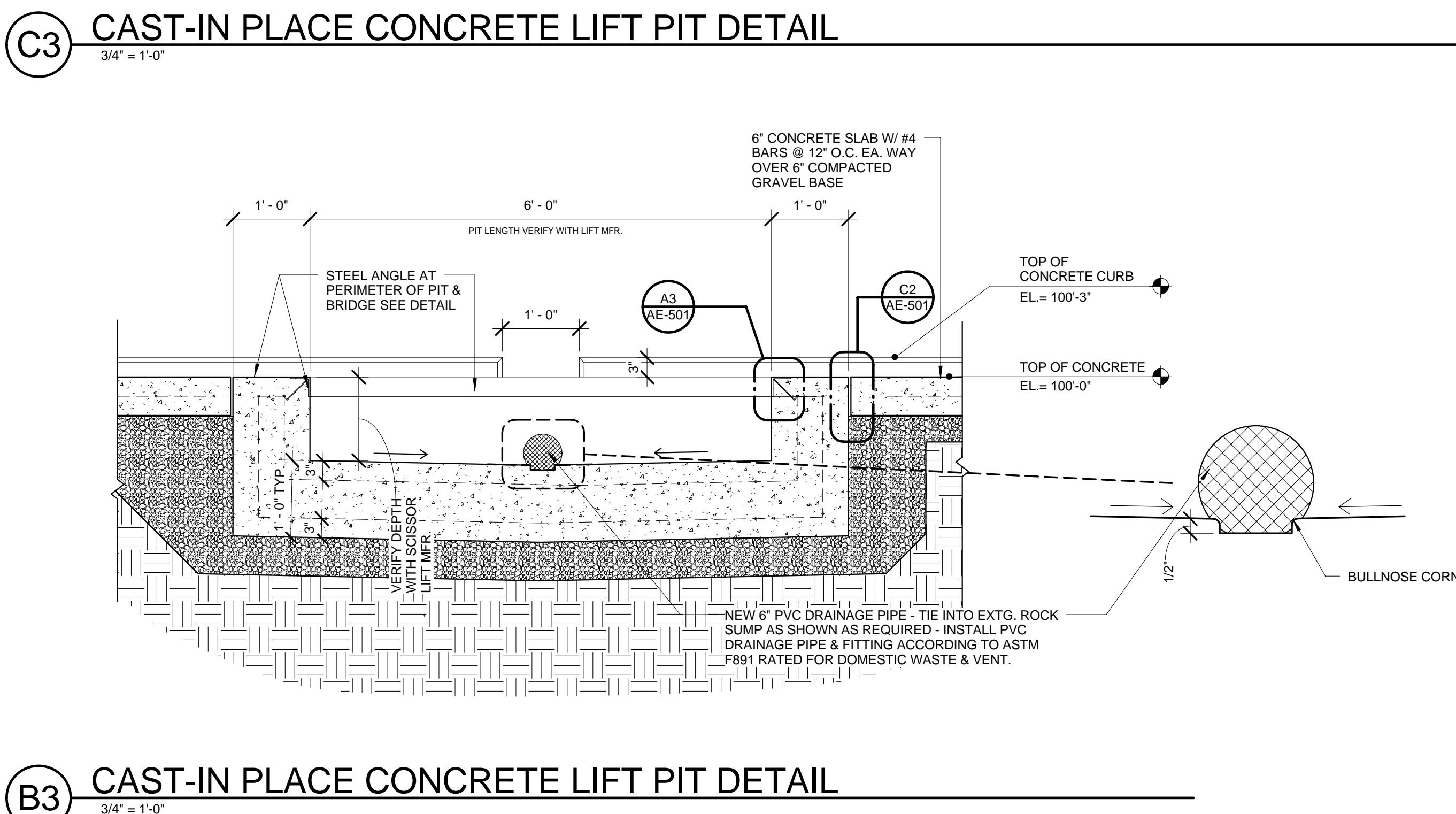
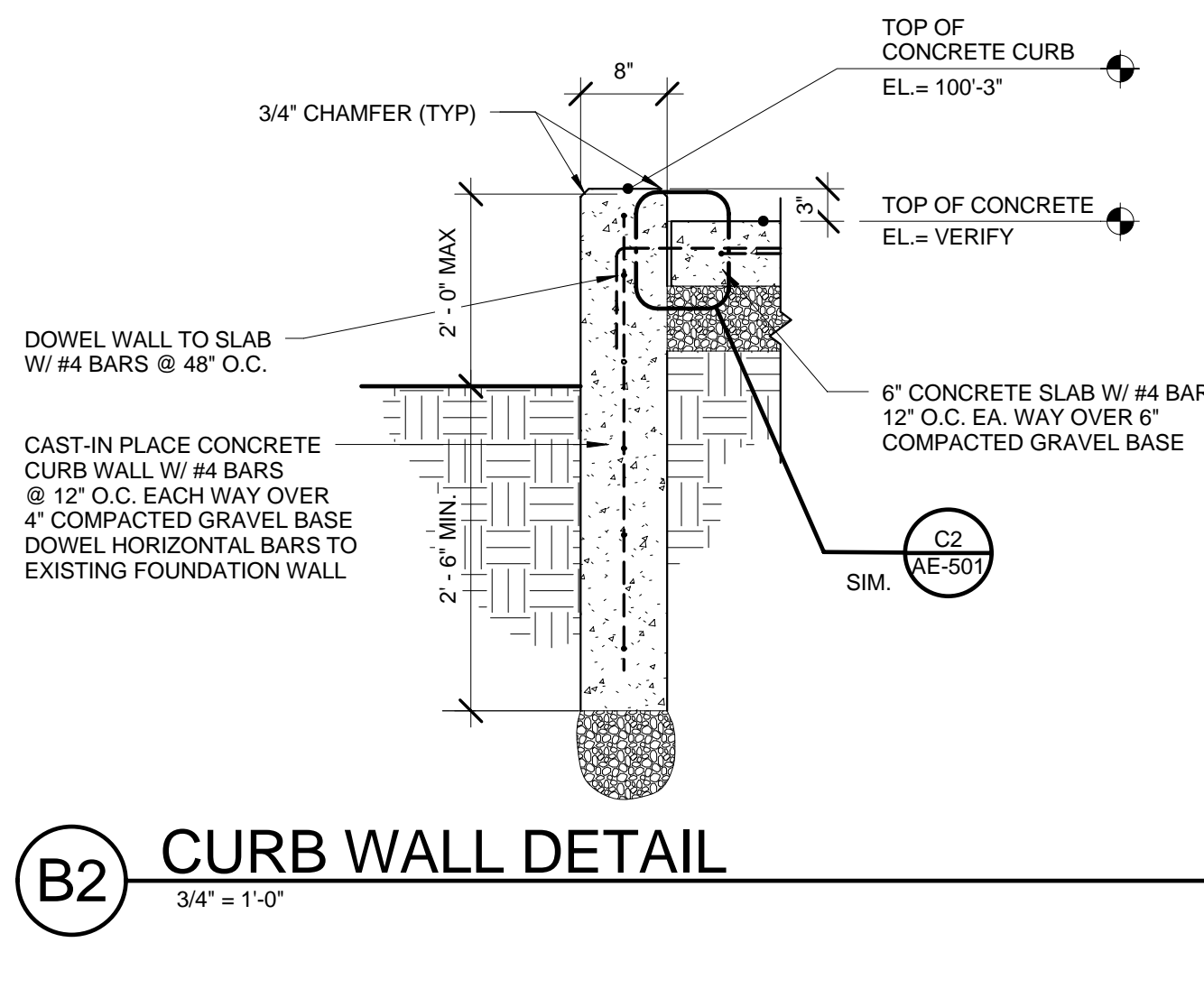
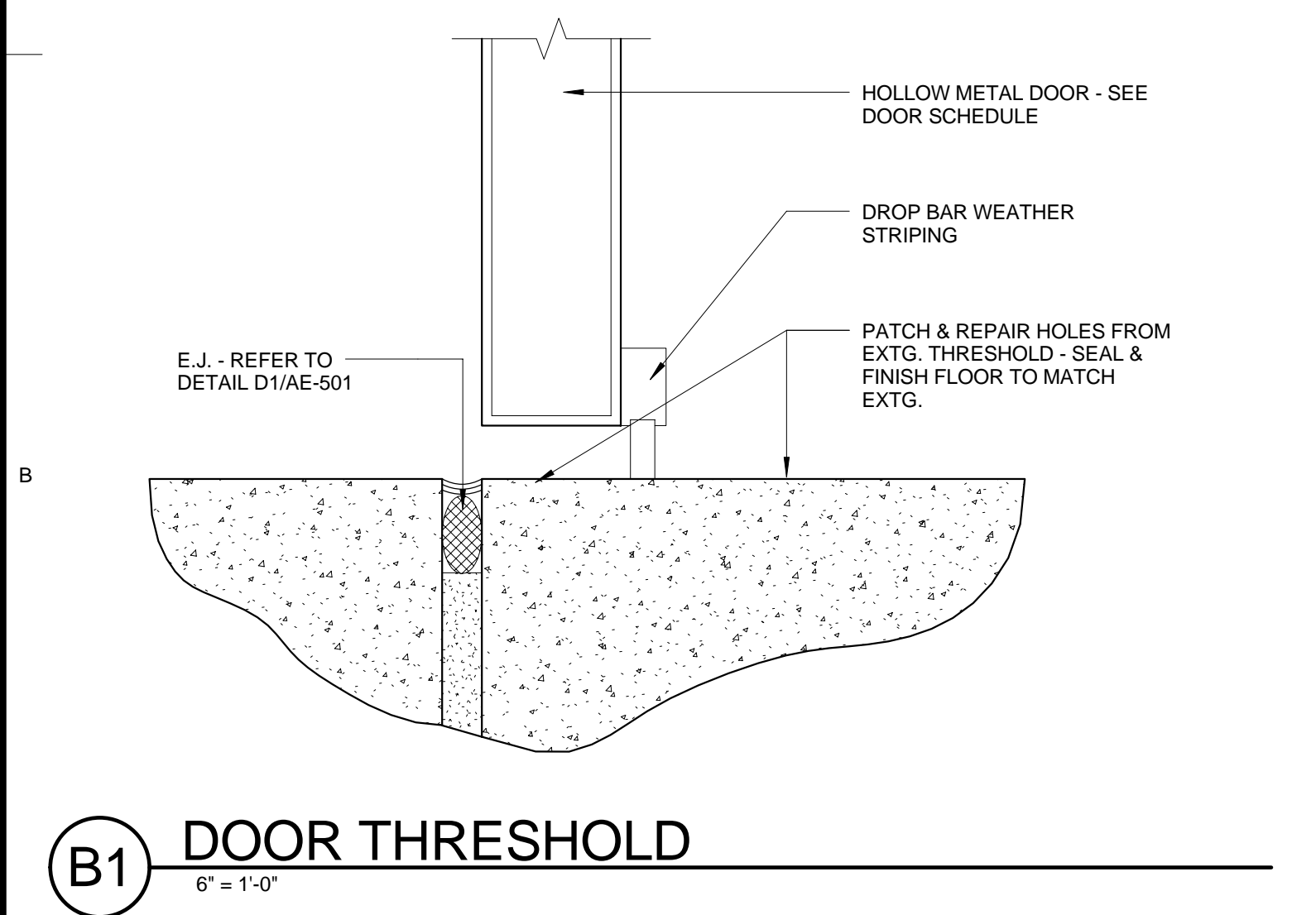
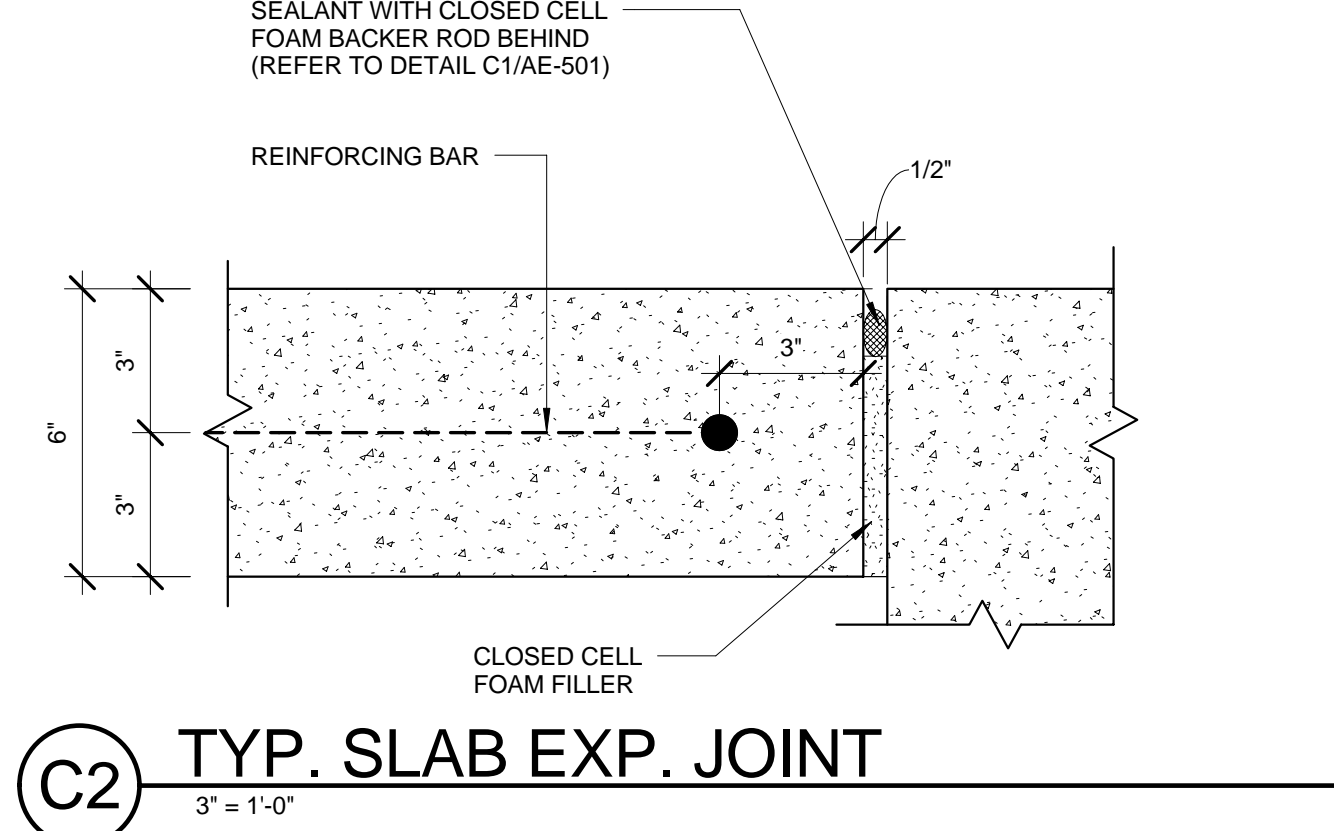
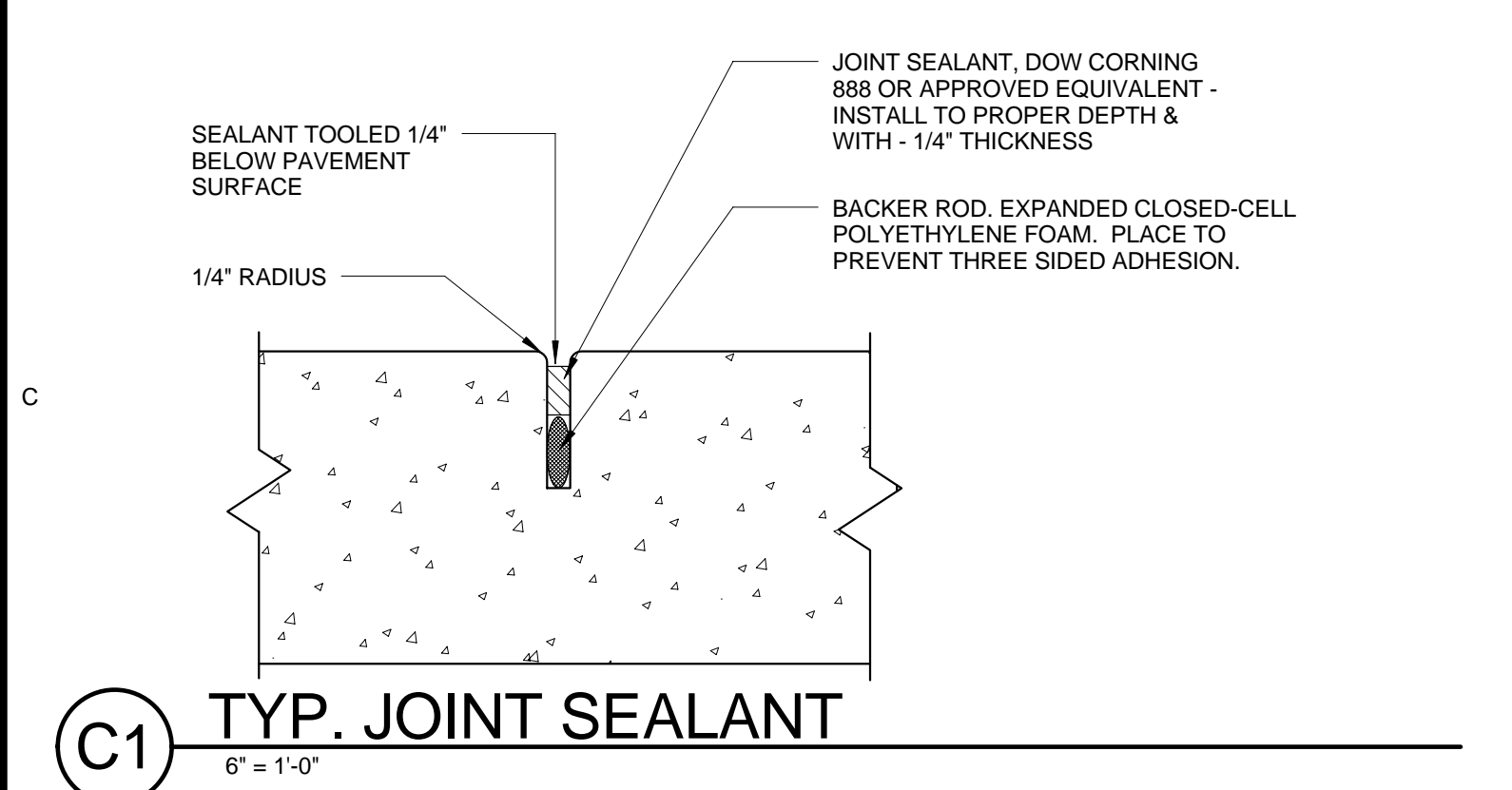
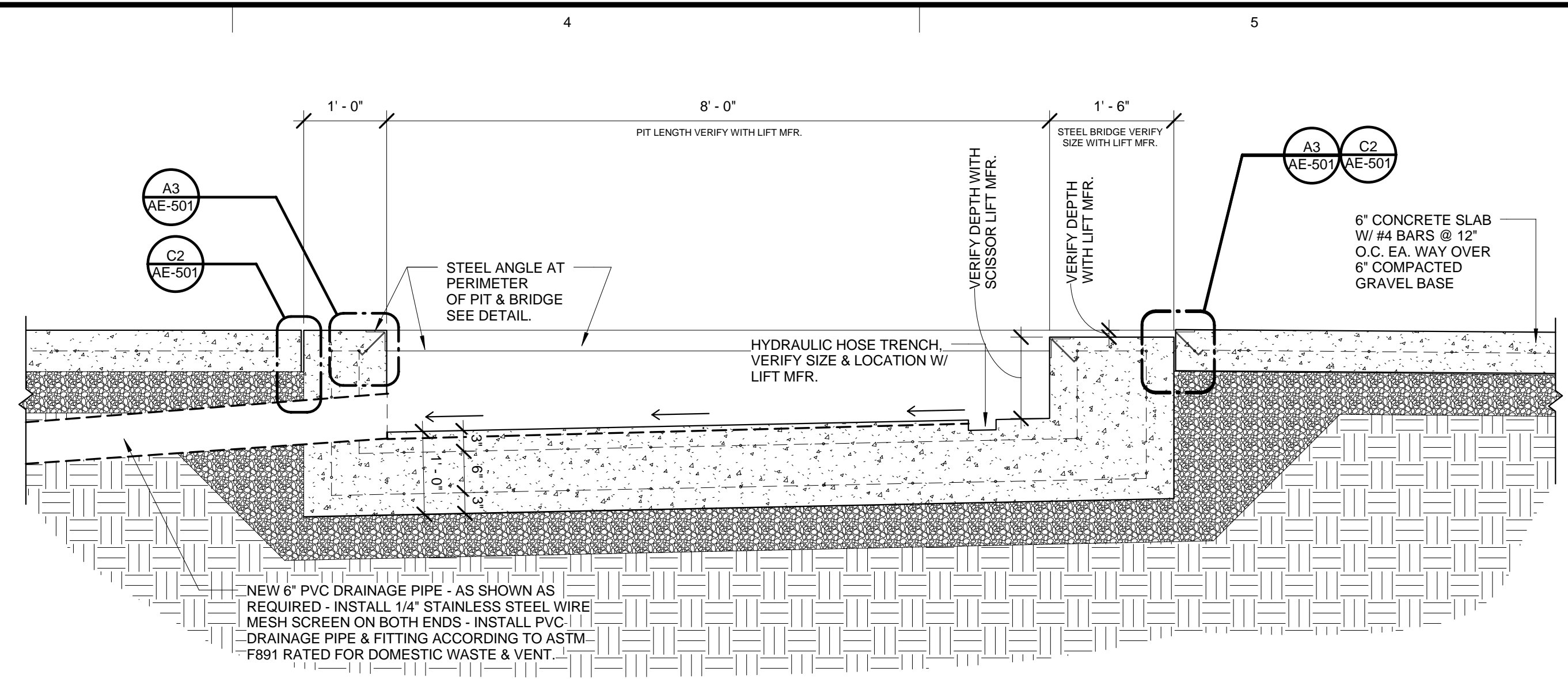
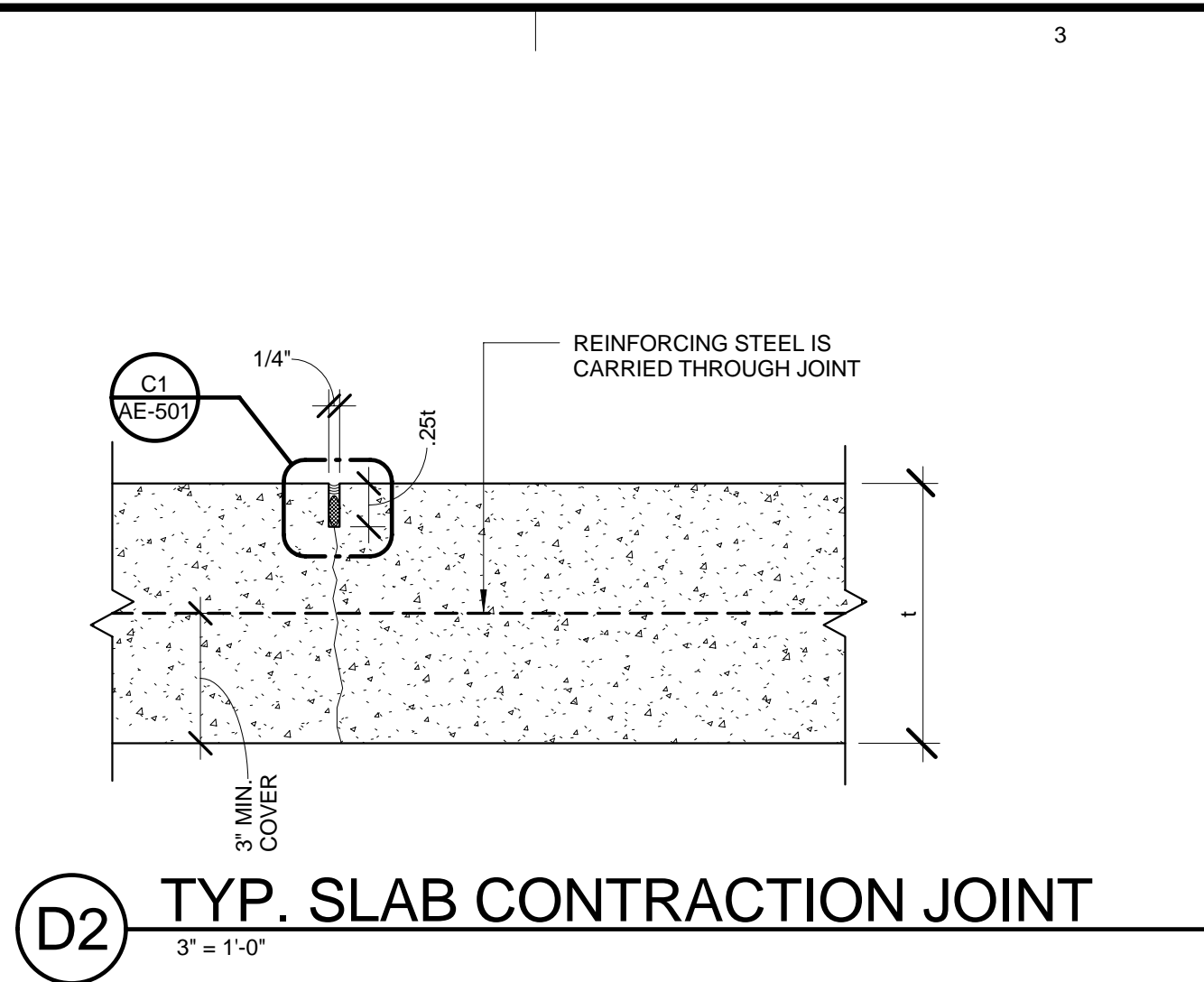
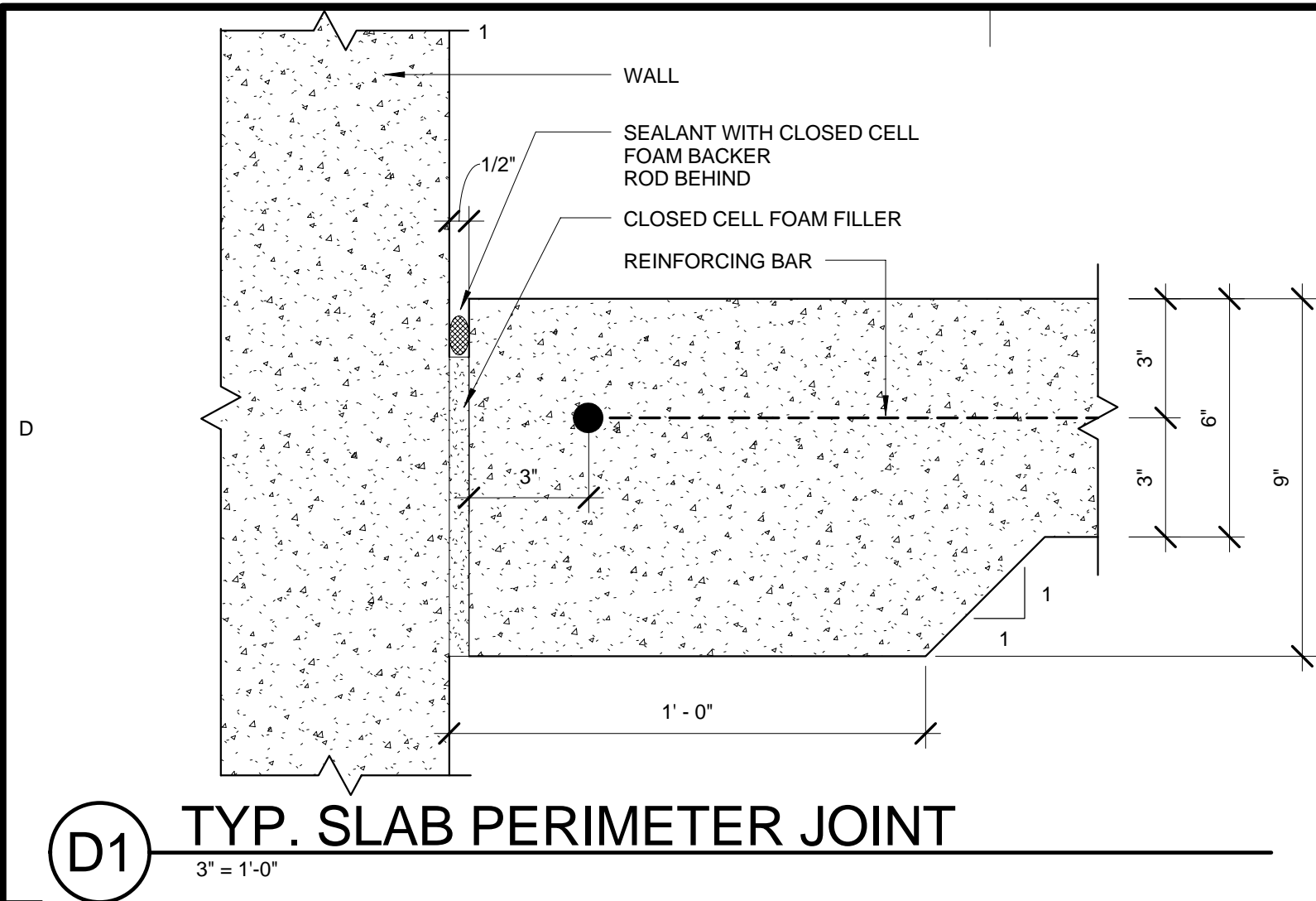
ELEVATIONS &  
SECTIONS

SHEET NUMBER:

AE-201

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Last Printed: 8/28/2006 3:31:32 PM



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ELECTRICAL ENGINEER:  
THOMAS & KOLKMAN

PROJECT NAME:

PRICE LIQUOR STORE NEW LIFT  
& DOOR REPLACEMENT

REVISIONS:

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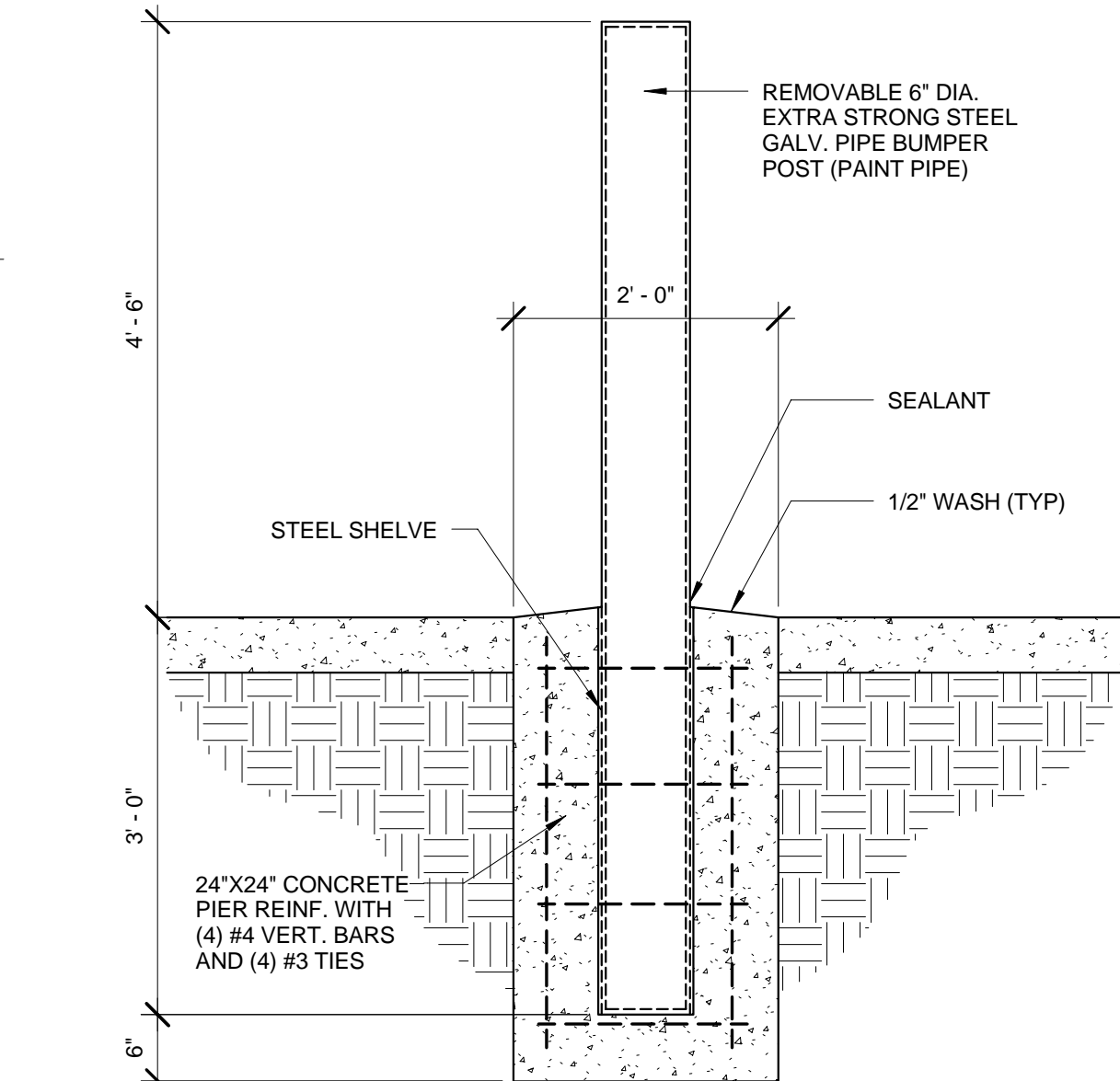
DETAILS

SHEET NUMBER:  
AE-501

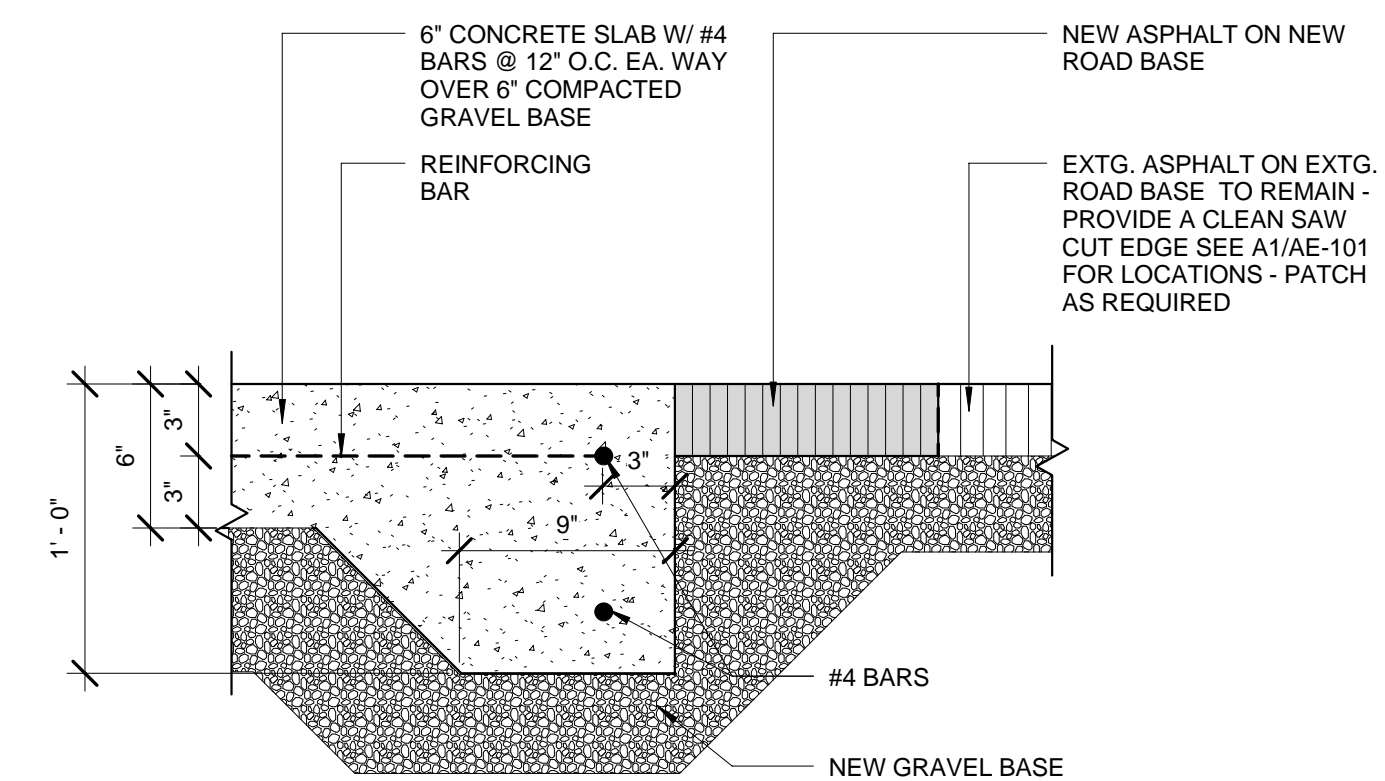
50 NORTH 100 WEST  
PRICE, UTAH 84601



Last Printed: 8/28/2006 3:31:50 PM



**B1** REMOVABLE BOLLARD DETAIL  
3/4" = 1'-0"



**A1** SLAB TO EXTG. ASPHALT DETAIL  
1 1/2" = 1'-0"



"G"



"D"



"A"



"H"



"E"



"B"



"C"



"F"



"C"



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